



## DIVISION OF FINANCE – PURCHASING DEPARTMENT

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**REQUEST FOR PROPOSAL  
RFP #25-0041  
ARCHITECTURAL AND ENGINEERING SERVICES  
DESIGN AND CONSTRUCTION FOR EMS POST 1**

**May 21, 2025**

Sedgwick County, Kansas (hereinafter referred to as “county”) is seeking a firm to provide Architectural and Engineering Services to design and construct a new Sedgwick County Emergency Medical Services (EMS) Post 1 Facility. If your firm is interested in submitting a response, please do so in accordance with the instructions contained within the attached Request for Proposal. Responses are due no later than **1:45 pm, Tuesday, June 10, 2025.**

**All contact concerning this solicitation shall be made through the Purchasing Department.** Proposers shall not contact county employees, department heads, using agencies, evaluation committee members or elected officials with questions or any other concerns about the solicitation. Questions, clarifications and concerns shall be submitted to the Purchasing Department in writing. Failure to comply with these guidelines may disqualify the Proposer’s response.

Sincerely,

Euleeta (Lee) Barrier, NIGP-CPP  
Senior Purchasing Agent

LB/ks

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## **I. About this Document**

This document is a Request for Proposal. It differs from a Request for Bid or Quotation in that the county is seeking a solution, as described on the cover page and in the following Background Information section, not a bid or quotation meeting firm specifications for the lowest price. As such, the lowest price proposed will not guarantee an award recommendation. As defined in Charter Resolution No. 68, Competitive Sealed Proposals will be evaluated based upon criteria formulated around the most important features of the product(s) and/or service(s), of which quality, testing, references, service, availability or capability, may be overriding factors, and price may not be determinative in the issuance of a contract or award. The proposal evaluation criteria should be viewed as standards that measure how well a vendor's approach meets the desired requirements and needs of the county. Criteria that will be used and considered in evaluation for award are set forth in this document. The county will thoroughly review all proposals received. The county will also utilize its best judgment when determining whether to schedule a pre-proposal conference, before proposals are accepted, or meetings with vendors, after receipt of all proposals. A Purchase Order/Contract will be awarded to a qualified vendor submitting the best proposal. **Sedgwick County reserves the right to select, and subsequently recommend for award, the proposed service(s) and/or product(s) which best meets its required needs, quality levels and budget constraints.**

The nature of this work is for a public entity and will require the expenditure of public funds and/or use of public facilities, therefore the successful proposer will understand that portions (potentially all) of their proposal may become public record at any time after receipt of proposals. Proposal responses, purchase orders and final contracts are subject to public disclosure after award. All confidential or proprietary information should be clearly denoted in proposal responses and responders should understand this information will be considered prior to release, however no guarantee is made that information will be withheld from public view.

## **II. Background**

Sedgwick County, located in south-central Kansas, is one of the most populous of Kansas' 105 counties with a population estimated at more than 514,000 persons. It is the sixteenth largest in area, with 1,008 square miles, and reportedly has the second highest per capita wealth among Kansas' counties. Organizationally, the county is a Commission/Manager entity, employs nearly 2,500 persons, and hosts or provides a full range of municipal services, e.g. – public safety, public works, criminal justice, recreation, entertainment, cultural, human/social, and education.

Sedgwick County seeks to select an A/E firm to prepare design drawings, specifications, bidding assistance, opinion of probable cost and construction administration for the new Sedgwick County EMS Post 1. This request for proposal will provide design for an approximate 3,000 square foot pre-engineered metal building with brick facade. The new building will be located on vacant property owned by the county and is located between 3059 and 3223 W. 13<sup>th</sup> Street North, Wichita, KS 67203. All recorded documents and agreements in reference to this site will be made available.

## **III. Project Objectives**

Sedgwick County, Kansas (hereinafter referred to as "county") is seeking a firm to provide Architectural and Engineering Services. The following objectives have been identified for this contract:

- Acquire Architectural and Engineering Services meeting the parameters, conditions and mandatory requirements presented in the document.
- Establish contract pricing with the vendor that has the best proven "track-record" in performance, service and customer satisfaction.
- Acquire Architectural and Engineering Services with the most advantageous overall cost to the county.
- Enter into a contract with a firm that has superior service history in providing the following types of A/E Services:
- Experience in developing plans, coordinating large-scale correctional projects and administering simultaneous project.
- Architecture
- Mechanical Engineering
- Structural Engineering
- Electrical Engineering
- Civil Engineering
- Interior Design

- Landscape Design
- Topographic Survey and Subsurface Testing
- Building Network and Telecommunications Design
- Construction Cost Estimating

Firms will not be limited in their use of subcontractors but will be required to establish a standard hourly rate for services. Subcontractors can be selected based on the project need and their availability.

#### IV. Submittals

Carefully review this Request for Proposal. It provides specific technical information necessary to aid participating firms in formulating a thorough response. Should you elect to participate with an electronic response, the RFP number must be entered in the subject line and email the entire document with supplementary materials to:

[Purchasing@sedgwick.gov](mailto:Purchasing@sedgwick.gov)

Should you elect to participate with a physical response, the response must be sealed and marked on the lower left-hand corner with the firm name and address, bid number, and bid due date. Submit one (1) original **AND** one (1) electronic copy (.PDF/Word supplied on a flash drive) of the entire document with any supplementary materials to:

**Lee Barrier**  
Sedgwick County Purchasing Department  
100 N. Broadway, Suite 610  
Wichita, KS 67202

SUBMITTALS are due **NO LATER THAN 1:45 pm, TUESDAY, June 10, 2025.** If there is any difficulty submitting a response electronically, please contact the Purchasing Technicians at [purchasing@sedgwick.gov](mailto:purchasing@sedgwick.gov) for assistance. Late or incomplete responses will not be accepted and will not receive consideration for final award. If you choose to send a hard copy of your proposal, Sedgwick County will not accept submissions that arrive late due to the fault of the U.S. Postal Service, United Parcel Service, DHL, FedEx, or any other delivery/courier service.

Proposal responses will be acknowledged and read into record at Bid Opening, **which will occur at 2:15 pm on the due date, Tuesday, June 10, 2025.** No information other than the respondent's name will be disclosed at Bid Opening. We will continue to have Bid Openings for the items listed currently. If you would like to listen in as these proposals are read into the record, **please dial our Meet Me line @ (316) 660-7271 at 2:15 pm.**

#### V. Scope of Work

Design and administer construction administration services required to construct a new EMS Post 1 Facility. This request for proposal will provide design for an approximately 3,000 square foot single-story pre-engineered metal building with brick façade. The building must include: a drive-thru bay for two (2) ambulances, bay storage/safe room which can be combined as one (1) room, heated floors, no air conditioning required in the ambulance bay.

The interior living/office quarters must accommodate a 4-person crew per shift, one (1) shared office to accommodate the 4-person crew and one (1) office for a supervisor, a kitchen, a separate shower/restroom facilities for both male and female, and shared locker area, day room, and a data server room. Direct access from the offices/kitchen/dayroom to the bay is required. Sealed concrete flooring throughout and drywall interior.

Exterior of the building to include a new generator, small outdoor patio to accommodate one natural gas grill, with privacy barrier. All exterior paving, landscaping and connection to public utilities to be included in the scope.

The county would like to mirror **EMS Post 15 located at 3575 N. Webb Road, Wichita, KS 67226** with one (1) addition. The addition will include one (1) separate office for a supervisor. The EMS Post Drawings and the Project Manual Specifications are available in electronic form and may be downloaded for reference by clicking the following link: [Sedgwick County Construction Projects](#). Firm information will be collected to generate a plan holder's list and will be available at the **Architectural and Engineering Services Design and Construction for EMS Post 1** section of the [current RFP/RFQ page](#).

Architect will assess existing spaces to verify space requirements, adjacency, equipment, environmental requirements and determine spaces to be added to the Facility and optimum locations and arrangement of spaces. ***Reference Background II in this document for more detailed information.***

**Phase One (1) is to include the following:**

1. Consult with county staff to determine project requirements and review available data in the county's possession.
2. Prepare preliminary schematic drawing in enough detail to develop a detailed construction estimate opinion of probable costs.
3. Submit an opinion of probable cost.

**Phase Two (2) is to include the following:**

1. Prepare and present for approval, preliminary design documents consisting of preliminary construction plans and outline specifications.
2. Develop a project schedule defining and establishing all owner's costs, consulting, A/E services, programming, design and construction activities and milestones in consultation with county staff. Opinion of probable cost is to be provided both at the end of the design phase, and then again once the final CD's are prepared.
3. Prepare and present for approval, final project plans and specifications, and assist in the preparation of other related documents. Assist in obtaining approvals by participating in submissions and negotiations with appropriate officials and authorities, including administrative hearings and meetings as reasonably required.
4. Design in such a manner to ensure Contractor's compliance with ADA Standards, with consideration for construction tolerances. Reference U.S. Access Board's final report, "Initiative on Dimensional Tolerances in Construction" dated January 2011

<https://www.access-board.gov/research/building/dimensional-tolerances/> which identifies best practices for design and specifications.

5. Provide bidding assistance to include:
  - Attending any Pre-Bid conference.
  - Advising county staff as to the acceptability of substitute materials and equipment proposed.
  - Providing addendums to bid documents.
6. Provide construction administration to include:
  - Provide a minimum of one (1) site visit each week to observe the progress and quality of the work being completed, including review for compliance with ADA standards.
  - Review contractor's applications for payment including any supplemental materials and advise the county as to the amount owing to contractor. Approval, in writing, of payment should be based on observations and review that the progress and quality is in accordance with the final project documents.
  - Take appropriate action to review and approve shop drawings, samples, test results, substitutions of materials/equipment, maintenance and operating instructions, schedules, certificates of inspections, final plans, specifications, contract documents as submitted by contractor.
  - Verify that completed project confirms to the final plans, including compliance with ADA standards. Provide written verification of approval or disapproval of work to project manager.
  - Prepare all change orders as required.

- Conduct inspections to determine if the project is substantially complete and conduct a final inspection to determine if the project has been completed in accordance to all project documents. Upon disapproval, prepare a list of incomplete, unsatisfactory items and a schedule for their completion. Upon approval of final inspection, provide written verification to county staff.
- Approve, in writing, final payment upon receipt of guarantees, manuals, bonds, warranties, as-built drawing, etc.
- Act on behalf of the county to the extent authorized by county staff.
- The intent of the ADA review during weekly site visits and for final project inspection is to ensure quality control throughout the project, and to catch areas of ADA non-compliance early, rather than only at the final punch list inspection. The verification of ADA compliance shall include, but not limited to the following:
  - a. Verify that running slopes and cross slopes of ramps, sidewalks and accessible routes comply with ADA standards for maximum slope.
  - b. Verify plumbing fixtures and restroom compliance such as fixture locations, mounting height, clear floor space, grab bar heights, sizes, locations, knee clearance, mirror and dispenser heights and locations, etc.
  - c. Review ramp or curb ramp features including, but not limited to, handrail heights and extensions, landing sizes, detectable warnings, side flares and edge protection.
  - d. Review door opening force, door maneuvering clearances, etc.
  - e. Verify proper signage mounting heights and locations.
  - f. Verify protruding object hazards do not exist.
  - g. Verify that operational parts are located within proper height range and that sufficient clear floor space exists.
  - h. Verify that parking space arrangement, slope, sizes and signage comply with ADA Standards.
  - i. Any other services provided by the architect under the terms of the AIA Contract with the county's supplemental conditions.

All phases and areas within the project site must meet full ADA compliance per 2010 ADA Standards and any other applicable federal or state requirements. All work must meet Sedgwick County CAD standards.

## VI. Sedgwick County's Responsibilities

- Provide information, as legally allowed, in possession of the county, which relates to the county's requirements or which is relevant to this project.
- Designate a person to act as the County Contract Manager with respect to the work to be performed under this contract.
- County reserves the right to make inspections at various points of the project. Contractor agrees to openly participate in said inspections and provide information to the county on the progress, expected completion date and any unforeseen or unexpected complications in the project.
- Provide established county standards to the A/E firm.
- Pay for reproduction costs associated with the bid process for this project such as blueprinting, photocopying, photographs, printing, binding, plans, and specifications, etc.
- Assist the A/E firm in obtaining permission to enter private and public property as required for A/E firm to perform services. The county will acquire the necessary easements and/or property.
- Pursue platting and zoning of the property.

## VII. Proposal Terms

### A. Questions and Contact Information

Any questions regarding this document must be submitted via email to Lee Barrier at [Lee.Barrier@sedgwick.gov](mailto:Lee.Barrier@sedgwick.gov) by 5:00 pm on Friday, May 30, 2025. Any questions of a substantive nature will be answered in written form as an addendum and posted on the purchasing website at <https://www.sedgwickcounty.org/finance/purchasing/current-bids-and-proposals/> under the Documents column associated with this RFP number by 5:00 pm Friday, May 30, 2025. Firms are responsible for checking the website and acknowledging any addenda on their proposal response form.

### B. Minimum Firm Qualifications

This section lists the criteria to be considered in evaluating the ability of firms interested in providing the service(s) and/or product(s) specified in this Request for Proposal. Firms must meet or exceed these qualifications to be considered for award. Any exceptions to the requirements listed should be clearly detailed in proposer's response. Proposers shall:

1. Have a minimum of ten (10) years' experience in providing services similar to those specified in this RFP.
2. Have an understanding of industry standards and best practices.
3. Have experience in managing projects of comparable size and complexity to that being proposed.
4. Have knowledge of and comply with all currently applicable, and as they become enacted during the contract term, federal, state and local laws, statutes, ordinances, rules and regulations. All laws of the State of Kansas, whether substantive or procedural, shall apply to the contract, and all statutory, charter, and ordinance provisions that are applicable to public contracts in the county shall be followed with respect to the contract.
5. Municipal and county government experience is desired, however, the county will make the final determination based on responses received and the evaluation process.
6. Have the capacity to acquire all bonds, escrows or insurances as outlined in the terms of this RFP.
7. Provide project supervision (as required) and quality control procedures.
8. Have appropriate material, equipment and labor to perform specified services.
9. Park only in designated areas and display parking permit (if provided).
10. Wear company uniform or ID badge for identification purposes if applicable.
11. The safety of the county staff and public is paramount and must be considered in all project design and construction phases.
12. The firm will provide a single point of contact for the duration of the project.
13. The firm will ensure timely completion of plans, specifications, and responses to county staff questions.
14. Initial responses to county questions must occur within 24 hours of contact by the county.
15. Plans and specifications must be accurate and fully coordinated between all disciplines and be in full code compliance.
16. The firm will provide timely execution of administrative procedures related to the project such as change orders, proposals, shop drawings, contractor pay requests, final inspections, punch list items, etc.
17. The firm will maintain Architect's Errors and Omissions Insurance and a Primary Comprehensive General Liability Policy combine's single limit. Evidence of such coverage must be provided to the county at the time responses are due.
18. The firm shall not acquire any interest, direct or indirect, in any other professional capacity that would conflict in any manner or degree with the performance of services required to be performed under this agreement.
19. The firm and all subcontractors will adhere to AIA Code of Ethics and Professional Conduct.
20. The firm and all subcontractors shall maintain professional licenses needed to perform work in Sedgwick County and the State of Kansas. A copy of each license must be provided to the county at the time responses are due.
21. The firm will meet with applicable county departments to review project status, project budget, and project planning. These meetings will be scheduled at a time agreed on by the Project Manager, any applicable county department (s) and the A/E Firm.
22. The firm and/or subcontracting firm shall not utilize an employee with less than three (3) years' experience in the appropriate field and that have hands on experience in planning and designing requested projects of similar size and scope.
23. The firm shall notify the county in advance if subcontractors will be used. If subcontracting firm work experience and reference information was not provided during the solicitation process, it will need to be provided in advance of any work being completed. The county reserves the right to require an alternative subcontractor based on experience and reference information.

24. All media, citizen, and public official requests for information are to be directed to the Project Manager which the A/E firm is working with.
25. The firm will submit detailed monthly invoices for services provided. Monthly invoices shall detail the number of billable hours by individual person and by individual project for the preceding calendar month. The invoice must indicate total fees billed previously, total fees for current month, and total fees to date by the project. Invoices shall be delivered to the county no later than the 10<sup>th</sup> day of the month following when services were provided. Electronic invoices are accepted and may be emailed directly to the Project Manager.
26. The firm must provide information verifying capacity to perform the services in the required time as reflected by workload, availability of adequate personnel, equipment, and facilities.

C. Evaluation Criteria

The selection process will be based on the responses to this RFP. County staff will judge each response as determined by the scoring criteria below. Purchasing staff are not a part of the evaluation committee.

Component	Points
A. Ability to meet or exceed all Request for Proposal conditions and instructions as outlined herein.	20
B. Competence to perform the specified and mandatory services as reflected by technical training and education, experience in providing required services, and the qualifications and competence of persons who would be assigned to perform the services. Prior work experience, job sizes and history of proven performance.	20
C. Capacity to perform the services in the required time as reflected by workload, availability of adequate personnel, equipment and facilities. The ability to manage projects simultaneously and expeditiously, approach to problem/task resolution, methodology/data gathering techniques and procedures and teamwork.	20
D. Past performance with respect to cost control, quality of work, value engineering and ability to meet deadlines. This shall be determined in part by a check of references for similar projects and/or services provided for governmental entities or organizations of similar size and scope.	20
E. Proposing the services described herein with the most advantageous and prudent methodology and costs to the county.	20
Total Points	100

Assume the following cost proposals (**examples only**)

- A. \$50,000.00
- B. \$38,000.00
- C. \$49,000.00

Company B with a total price of \$38,000.00 is the low offer. Take the low offer and divide each of the other offers into the low offer to calculate a percentage. This percentage is then multiplied by the number of points available for the cost. In this case, 10 points are allocated to cost.

- |   |         |            |
|---|---------|------------|
| A. \$38,000.00 divided by \$50,000.00 =.76  | .76*10  | 7.6 points |
| B. \$38,000.00 divided by \$38,000.00 =1.00 | 1.00*10 | 10 points  |
| C. \$38,000.00 divided by \$49,000.00=.77   | .77*10  | 7.7 points |

Any final negotiations for services, terms and conditions will be based, in part, on the firm’s method of providing the service and the fee schedule achieved through discussions and agreement with the county’s review committee. The county is under no obligation to accept the lowest priced proposal and reserves the right to further negotiate services and costs that are proposed. The county also reserves the sole right to recommend for award the proposal and plan that it deems to be in its best interest.

The county reserves the right to reject all proposals. All proposals, including supporting documentation shall become the property of Sedgwick County. All costs incurred in the preparation of this proposal shall be the responsibility of the firm making the proposals. Sedgwick County reserves the right to select, and subsequently recommend for award, the proposed service which best meets its required needs, quality levels and budget constraints.

D. [Request for Proposal Timeline](#)

The following dates are provided for information purposes and are subject to change without notice. Contact the Purchasing Department at (316) 660-7255 to confirm any and all dates.

Distribution of Request for Proposal to interested parties	<b>Wednesday, May 21, 2025</b>
Questions and clarifications submitted via email by 5:00 pm	<b>Friday, May 30, 2025</b>
Addendum Issued by 5:00 pm	<b>Friday, June 6, 2025</b>
Proposal due before 1:45 pm	<b>Tuesday, June 10, 2025</b>
Evaluation Period	<b>June 11-13, 2025</b>
Board of Bids and Contracts Recommendation	<b>Thursday, June 26, 2025</b>
Board of County Commission Award	<b>Wednesday, July 2, 2025</b>

E. [Contract Period and Payment Terms](#)

A contract will be entered into upon approval from the Board of County Commissioners and a signed legal contract. The contract will continue until all services are completed upon agreement of both parties. The county reserves the right to cancel the contract and discontinue services with a thirty-day (30) written notice to the other party. It is understood that funding may cease or be reduced at any time, and in the event that adequate funds are not available to meet the obligations hereunder, either party reserves the right to terminate this agreement upon thirty (30) days prior written notice to the other. Payment will be remitted following receipt of monthly detailed invoice.

Payment and Invoice Provisions

<https://www.sedgwickcounty.org/media/55477/payment-and-invoice-provisions.pdf>

F. [Insurance Requirements](#)

Liability insurance coverage indicated below must be considered as primary and not as excess insurance. If required, contractor’s professional liability/errors and omissions insurance shall (i) have a policy retroactive date prior to the date any professional services are provided for this project, and (ii) be maintained for a minimum of three (3) years past completion of the project. Contractor shall furnish a certificate evidencing such coverage, with county listed as an additional insured including both ongoing and completed operations, except for professional liability, workers’ compensation and employer’s liability. **Certificate shall be provided prior to award of contract.** Certificate shall remain in force during the duration of the project/services and will not be canceled, reduced, modified, limited, or restricted until thirty (30) days after county receives written notice of such change. All insurance must be with an insurance company with a minimum BEST rating of A-VIII and licensed to do business in the State of Kansas (**must be acknowledged on the bid/proposal response form**).

**NOTE:** If any insurance is subject to a deductible or self-insured retention, written disclosure must be included in your proposal response and also be noted on the certificate of insurance.

It is the responsibility of contractor to require that any and all approved subcontractors meet the minimum insurance requirements.

<b>Workers’ Compensation:</b>	
Applicable coverage per State Statutes	
<b>Employer’s Liability Insurance:</b>	\$500,000.00
<b>Commercial General Liability Insurance (on form CG 00 01 04 13 or its equivalent):</b>	
Each Occurrence	\$1,000,000.00
General Aggregate, per project	\$2,000,000.00
Personal Injury	\$1,000,000.00
Products and Completed Operations Aggregate	\$2,000,000.00
<b>Automobile Liability:</b>	
Combined single limit	\$500,000.00
<b>Umbrella Liability:</b>	

Following form for both the general liability and automobile <input checked="" type="checkbox"/> <b>Required</b> / <input type="checkbox"/> <b>Not Required</b> Each Claim Aggregate	\$1,000,000.00 \$1,000,000.00
<b>Professional Liability/ Errors &amp; Omissions Insurance:</b> <input checked="" type="checkbox"/> <b>Required</b> / <input type="checkbox"/> <b>Not Required</b> Each Claim Aggregate	\$1,000,000.00 \$1,000,000.00
<b>Pollution Liability Insurance:</b> <input type="checkbox"/> <b>Required</b> / <input checked="" type="checkbox"/> <b>Not Required</b> Each Claim Aggregate	\$1,000,000.00 \$1,000,000.00

**Special Risks or Circumstances:**

*Entity reserves the right to modify, by written contract, these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.*

**IF CONTRACTOR IS PROVIDING CONSTRUCTION SERVICES:**

*In addition to the above coverages, contractor shall also provide the following:*

<b>Builder's Risk Insurance:</b>	In the amount of the initial Contract Sum, plus the value of subsequent modifications and cost of materials supplied and installed by others, comprising the total value for the entire Project on a replacement cost basis without optional deductibles. Entity, contractor, and all Subcontractors shall be included as named insured's.
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G. Indemnification

To the fullest extent of the law, the provider, its subcontractor, agents, servants, officers or employees shall indemnify and hold harmless Sedgwick County, including, but not limited to, its elected and appointed officials, officers, employees and agents, from any and all claims brought by any person or entity whatsoever, arising from any act, error, or omission of the provider during the provider's performance of the agreement or any other agreements of the provider entered into by reason thereof. The provider shall indemnify and defend Sedgwick County, including, but not limited to, its elected and appointed officials, officers, employees and agents, with respect to any claim arising, or alleged to have arisen from negligence, and/or willful, wanton or reckless acts or omissions of the provider, its subcontractor, agents, servants, officers, or employees and any and all losses or liabilities resulting from any such claims, including, but not limited to, damage awards, costs and reasonable attorney's fees. This indemnification shall not be affected by any other portions of the agreement relating to insurance requirements. The provider agrees that it will procure and keep in force at all times at its own expense insurance in accordance with these specifications.

H. Confidential Matters and Data Ownership

The successful proposer agrees all data, records and information, which the proposer, its agents and employees, which is the subject of this proposal, obtain access, remains at all times exclusively the property of Sedgwick County. The successful proposer agrees all such data, records, plans and information constitutes at all times proprietary information of Sedgwick County. The successful proposer agrees that it will not disclose, provide, or make available any of such proprietary information in any form to any person or entity. In addition, the successful proposer agrees it will not use any names or addresses contained in such data, records, plans and information for the purpose of selling or offering for sale any property or service to any person or entity who resides at any address in such data. In addition, the successful proposer agrees it will not sell, give or otherwise make available to any person or entity any names or addresses contained in or derived from such data, records and information for the purpose of allowing such person to sell or offer for sale any property or service to any person or entity named in such data. Successful proposer agrees it will take all reasonable steps and the same protective precautions to protect Sedgwick County's proprietary information from disclosure to third parties as with successful proposer's own proprietary and confidential information. Proposer agrees that all data, regardless of form that is generated as a result of this Request for Proposal is the property of Sedgwick County.

I. Proposal Conditions

<https://www.sedgwickcounty.org/media/31338/proposal-tc.pdf>

Sample Contract

<https://www.sedgwickcounty.org/media/67402/sample-contract-kws-13024.pdf>

Contract Provisions for FEMA Projects (If Applicable)

<https://www.sedgwickcounty.org/media/67302/sedgwick-county-federal-grant-contract-provisions.pdf>

Suspension and Debarment

<https://www.sedgwickcounty.org/finance/purchasing/suspension-and-debarment/>

Protest Procedure

Any protests and/or challenges to the bid process must be filed timely and pursuant to Sedgwick County's protest procedure.

[www.sedgwickcounty.org/media/68789/protest-procedure-rev-4225.pdf](http://www.sedgwickcounty.org/media/68789/protest-procedure-rev-4225.pdf)

**VIII. Required Response Content**

All proposal submissions shall include the following:

1. Firm profile: the name of the firm, address, telephone number(s), contact person, year the firm was established, and the names of the principals of the firm.
2. The firm's relevant experience, notably experience working with government agencies.
3. At minimum, three (3) professional references, besides Sedgwick County, with email addresses, telephone numbers, and contact persons where work has been completed within the last three (3) years.
4. A disclosure of any personal or financial interest in any properties in the project area, or any real or potential conflicts of interest with members of the Sedgwick County Board of County Commissioners or county staff.
5. A description of the type of assistance that will be sought from county staff, including assistance required from the county to lessen the costs of this project.
6. Proof of insurance meeting minimum insurance requirements as designated herein.
7. Those responses that do not include all required forms/items may be deemed non-responsive.
8. The names of any anticipated subcontractors that will be used and in what capacity.
9. The work experience of any anticipated subcontractors.
10. A completed copy of the Bid Form provided with this Request for Proposal.

NOTE: The proposed fee shall be in an amount sufficient to cover traditional reimbursable costs such as:

- Transportation and subsistence expenses of employees, principals, and partners incurred during travel.
- Communication expenses such as long distance telephone calls, telegraph, facsimile, express or messenger charges and postage.
- Sub consultant expenses for special services for associated consultants, such as structural, mechanical and electrical engineering, geo-technical investigation and reports, testing, and observation, etc.
- Specialized equipment including computers, computer time, software, printers, scanners, etc.
- Progress prints and in-house plots.
- Charges for personnel bonuses, employee training, employee morale programs, principal bonuses, general liability, auto liability, or professional liability insurance will not be accepted.

IX. Response Form

**REQUEST FOR PROPOSAL  
RFP #25-0041  
ARCHITECTURAL AND ENGINEERING SERVICES FOR EMS POST 1**

The undersigned, on behalf of the proposer, certifies that: (1) this offer is made without previous understanding, agreement or connection with any person, firm, or corporation submitting a proposal on the same project; (2) is in all respects fair and without collusion or fraud; (3) the person whose signature appears below is legally empowered to bind the firm in whose name the proposer is entered; (4) they have read the complete Request for Proposal and understands all provisions; (5) if accepted by the county, this proposal is guaranteed as written and amended and will be implemented as stated; and (6) mistakes in writing of the submitted proposal will be their responsibility.

NAME \_\_\_\_\_

DBA/SAME \_\_\_\_\_

CONTACT \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY/STATE \_\_\_\_\_ ZIP \_\_\_\_\_

PHONE \_\_\_\_\_ FAX \_\_\_\_\_ HOURS \_\_\_\_\_

STATE OF INCORPORATION or ORGANIZATION \_\_\_\_\_

COMPANY WEBSITE ADDRESS \_\_\_\_\_ EMAIL \_\_\_\_\_

NUMBER OF LOCATIONS \_\_\_\_\_ NUMBER OF PERSONS EMPLOYED \_\_\_\_\_

TYPE OF ORGANIZATION: Public Corporation \_\_\_\_\_ Private Corporation \_\_\_\_\_ Sole Proprietorship \_\_\_\_\_

Partnership \_\_\_\_\_ Other (Describe): \_\_\_\_\_

ARE YOU REGISTERED TO DO BUSINESS IN THE STATE OF KS: \_\_\_\_\_ Yes \_\_\_\_\_ No

UEI (UNIQUE ENTITY IDENTIFIER) NO. \_\_\_\_\_

INSURANCE REGISTERED IN THE STATE OF KS WITH MINIMUM BEST RATING OF A-VIII: \_\_\_\_\_ Yes \_\_\_\_\_ No

**ACKNOWLEDGE RECEIPT OF ADDENDA:** All addendum(s) are posted to our RFB/RFP web page and it is the vendor's responsibility to check and confirm all addendum(s) related to this document by going to <https://www.sedgwickcounty.org/finance/purchasing/>.

NO. \_\_\_\_\_, DATED \_\_\_\_\_; NO. \_\_\_\_\_, DATED \_\_\_\_\_; NO. \_\_\_\_\_, DATED \_\_\_\_\_

In submitting a proposal, vendor acknowledges all requirements, terms, conditions, and sections of this document. Proposal submission format should be by order in which sections are listed throughout the document. All minimum and general requirements should be specifically addressed and detailed in proposer's response. **Exceptions to any part of this document should be clearly delineated and detailed.**

Signature \_\_\_\_\_ Title \_\_\_\_\_

Print Name \_\_\_\_\_ Dated \_\_\_\_\_

**EMS POST 1**  
**PARCEL DETAILS – Lot: Approximately 37,156 Square Feet**



EMS POST 1  
PARCEL AERIAL VIEW



## EXHIBIT A

### CAD 2D Drawing Standards for Sedgwick County

#### A. Software Requirements

- a. All drawings must be provided in DWG file format that is supported by Autodesk AutoCAD®.
- b. Use of only AutoCAD® version 2000 format or later will be accepted.
- c. All electronic drawings must be delivered on CD-ROM or DVD, formatted using Windows® 2000 or higher.

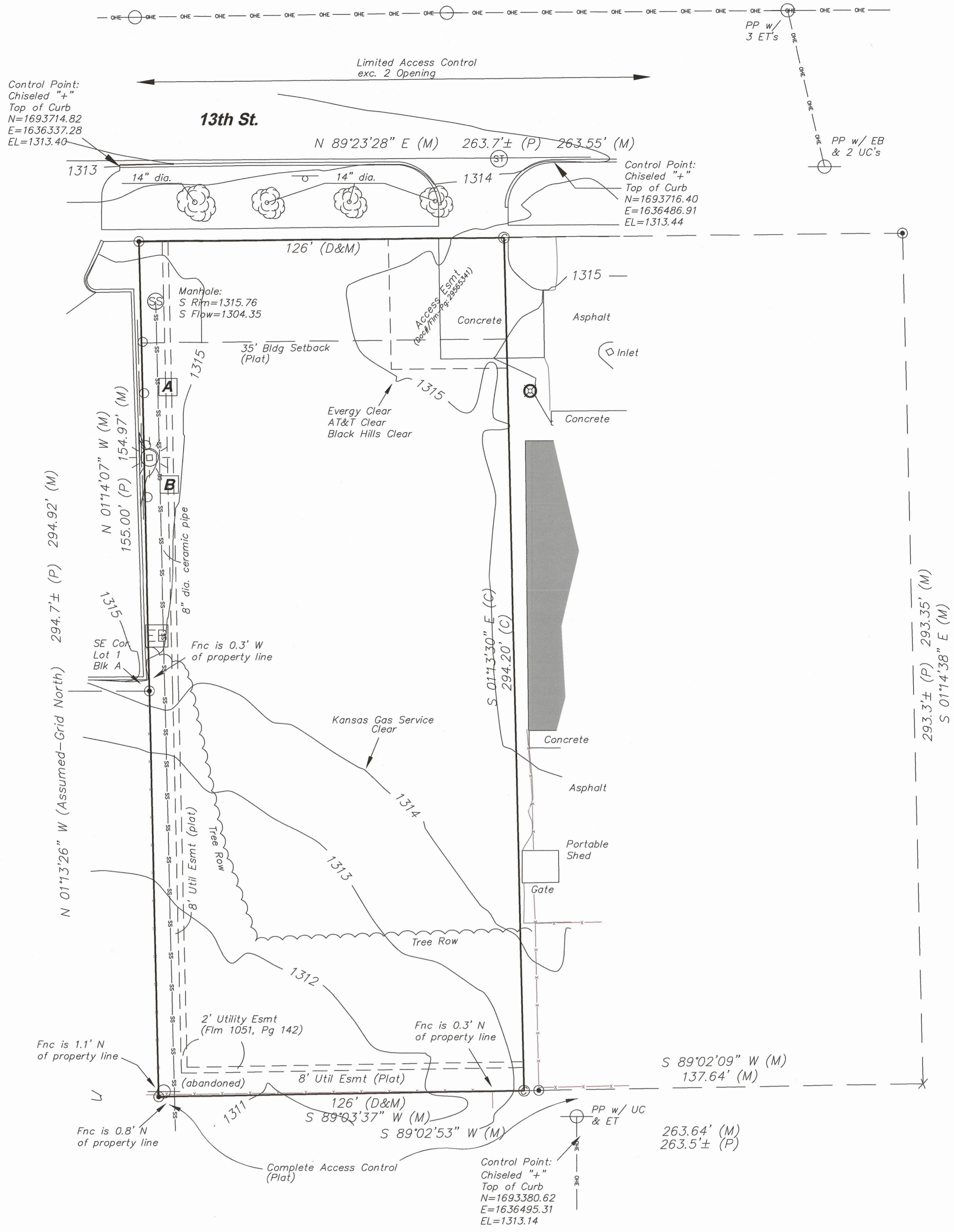
#### B. Drawing Requirements

- a. All files must be “readable” and must open without any errors (such as proxy, font substitution, xref resolution, etc.). Objects, layers, and other file properties must also remain intact.
- b. All drawings must be free of password protection or encryption.
- c. All drawings must be purged of duplicate object lines.
- d. All drawings must be purged of blocks, layers, attributes, etc. not referenced in the drawing.
- e. Ensure that xrefs are attached without drive or directory specifications. No unbound references to external source drawing files are permitted.
- f. The contractor shall retain a copy of all electronic deliverables for at least one year. During this time if requested, the contractor shall provide up to two additional copies of each at no additional cost to Sedgwick County.

#### C. Drawing Formats

- a. Scale - All CAD drawings must be drafted at full-scale with the exception of schematic drawings which may be drawn to any scale.
- b. Units – Architectural units of feet and inches are to be used unless nature of the drawing requires otherwise (in the case of a schematic drawing).
- c. Tolerances – Tolerances are at the discretion of the contractor but should be selected to most accurately reflect the data in the drawing.
- d. Dimensioning – All drawings must use Associative Dimension (updates automatically when distances on drawing are changed).
- e. Fonts and Text Styles – Only AutoCAD® True Type fonts may be used at the discretion of the contractor. Special fonts not packaged with AutoCAD® are not permitted.
- f. Line types – Only standard AutoCAD® line types are permitted. Contour lines, dashed lines, and other fonted lines must be made of one continuous line segment and not a series of separate line segments.
- g. Line weights – Line weights are at the discretion of the contractor but must be assigned to the specific layers and not to individual drawing entities. It is recommended that line weights follow standard drafting conventions.
- h. Layers – All drawing files must conform to the AIA (American Institute of Architects) *CAD Layer Guidelines*.
- i. Layer Colors – The layer colors are at the discretion of the contractor. Darker colors and half tones are recommended.
- j. Hatching – Hatching shall not deviate from AutoCAD® defaults. Do not use polylines with increased width for hatching.
- k. Blocks – Blocks are to be used anytime a graphic entity repeatedly occurs. All components used to create blocks must be created on layer 0.
- l. Title Blocks – Each drawing should have only one title block located in the lower right hand corner or in the right pane of the drawing. At a minimum the title block should contain:
  - Customer Name (Sedgwick County)
  - Firm Name
  - Project Name
  - Building Name/Number
  - Project Number
  - Drawing Title
  - Sheet Identification
  - Date of Drawing
  - Drawing Number
  - Drawing Scale
  - North Arrow
- m. Model Space and Paper Space – Contractors are strongly encouraged to use paper space but not required to do so as long as the drawing in the model space contains the required data.
- n. Graphics – All images included in the drawing must be embedded within the CAD file. Acceptable graphic types include JPG, TIF, GIF, PDF, BMP, etc....

EXHIBIT B



**NOTES:**  
 1. Utilities located from above ground observation and per KS One Call Ticket No. 24477038.  
 2. Elevation Datum=NAVD88  
 3. Basis of Bearing=KS State Plane Coordinates-Grid North.  
 4. Coordinate datum: NAD83, Kansas State Plane projected to ground.

State of Kansas SS  
 County of Sedgwick

I, Chad R. Abbott, P.S. #1340, do hereby certify that this Topographic Survey was performed by me or under my direct supervision and that I am duly licensed Land Surveyor in the State of Kansas.

**Legal Description:**  
 The West 126 feet of Lot 2, Block A, Kastens Addition, City of Wichita, Sedgwick County, Kansas.

Date of Survey: September 24, 2024  
 Date of Preparation: August 14, 2024

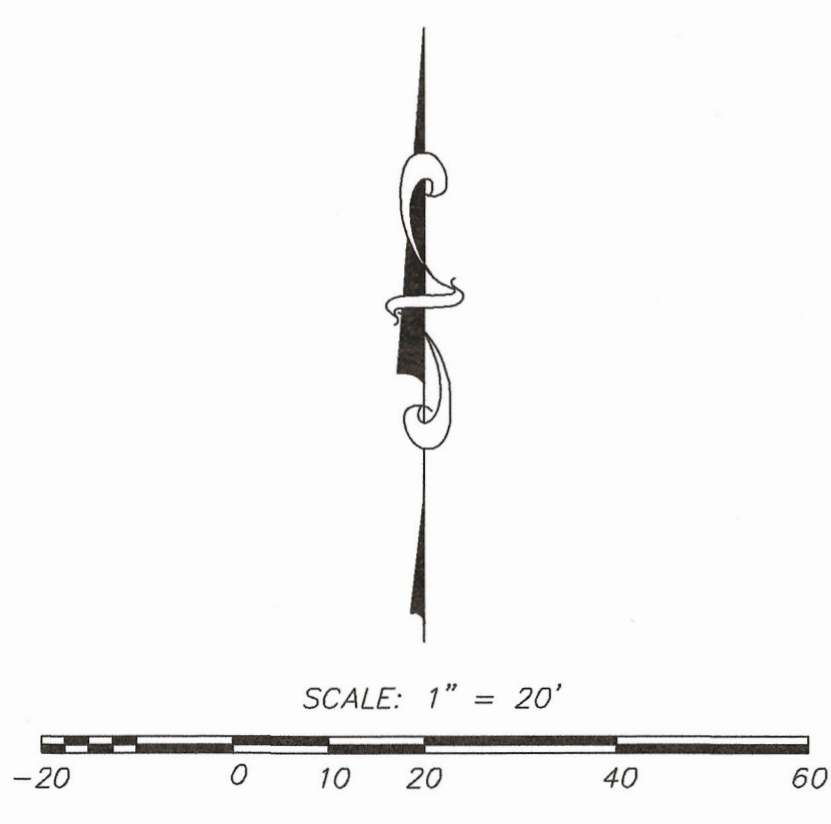


Chad R. Abbott, P.S. #1340

**LEGEND:**

- (P) = Platted
- (M) = Measured
- (D) = Described
- (C) = Calculated
- Tree (size noted)
- Well
- = Found 1/2" Pipe
- = Calculated
- X = Found Chiseled "+"
- EB Electric Box
- Light Pole
- Power Pole
- SS Sanitary Sewer Manhole
- ST Storm Manhole
- Sign
- PP=Power Pole
- UC=Underground Conduit
- EB=Electric Box
- ET=Electric Transformer
- x — = Fence
- OHE — = Overhead Electric Line

**Significant Observations:**  
 A Adjoiner signs crosses onto subject property 0.4'-0.8'  
 B Light Pole crosses onto subject property 1.9'



Dwn. By: AMF	Aprvd. By: CRA
Dwg. No. A24-09-009	Scale: 1" = 20'



**Wichita-Sedgwick County  
Metropolitan Area  
Planning Department**

**EXHIBIT B1**

November 20, 2024

Donaldson-Loescher Liv. Trust  
3057 N. Bluebird  
Wichita, KS 67204

Sedgwick County  
525 N. Main  
Wichita, KS 67203

**Ref: VAC2024-00044:** Vacation request in the City to vacate a portion of platted access control to permit a 3<sup>rd</sup> driveway for future EMS station on property zoned LC Limited Commercial District, located on the south side of West 13<sup>th</sup> Street North and within one-half mile west of North Meridian Avenue.

Dear Applicant,

At the **Tuesday, November 19, 2024**, meeting of the Wichita City Council, the above-referenced vacation request was approved.

If you have any questions concerning this case, please contact our office at 268-4421.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Philip Zevenbergen', written over the word 'Sincerely,'.

Philip Zevenbergen  
Current Plans  
Division Manager

PZ: JM



Sedgwick County  
Register of Deeds - Bill Meek  
Doc.#/Flm-Pg: 29565341

Receipt #: 1952271  
Pages Recorded: 3

Recording Fee: \$28.00

Cashier: KYENATOR

Authorized By: 

Date Recorded: 10/21/2015 10:35:54 AM



## EXHIBIT B2

### ACCESS EASEMENT GRANT

THIS ACCESS EASEMENT GRANT made this 15<sup>TH</sup> day of OCTOBER, 2015, by Donaldson-Loescher Living Trust, herein referred to as the Grantors, being the owners of the following described properties, to-wit:

#### PARCEL "A"

Lot 2, except the west 126.00 feet thereof, Block A, Kastens Addition to Wichita, Kansas.

and

#### PARCEL "B"

The west 126.00 feet of Lot 2, Block A, Kastens Addition to Wichita, Kansas.

and

WHEREAS, said Parcel "A" and Parcel "B" are contiguous to and lie directly adjacent to each other; and

WHEREAS, Grantors desire to provide a perpetual access easement for the benefit of Parcel "A" over, across, and through a portion of said Parcel "B" (later described as Parcel "C"), to allow Parcel "A" access to 13th Street North.

NOW THEREFORE, be it known that Grantors hereby grant to the owners of Parcel "A" the right to use for ingress and egress purposes the access easement described as Parcel "C".

#### PARCEL "C"

The north 45.00 feet of the east 40.00 feet of the west 126.00 feet of Lot 2, Block A, Kastens Addition to Wichita, Kansas.

20180324 1


Access Easement Grant  
Page 2 of 3

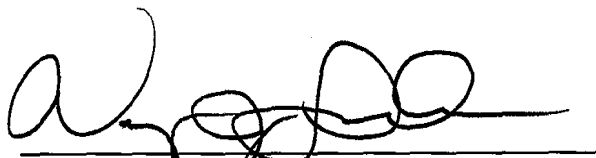
Such access easement shall be a perpetual easement until and unless amended, revoked, or released by all of the parties in interest or their successors or assigns and that the same shall be a covenant running with the land and shall be binding upon the grantors herein, their grantees, their heirs, assigns, licensees, successors, and assignees in interest.

It is further contracted and covenanted that such easement shall be for driveway, ingress, and egress purposes and such easement shall not be used for parking purposes or utilized in any manner so as to impede or inconvenience the use of such easement for the purposes herein setforth. Maintenance of said easements shall be in the mutual interests and responsibilities to all party's interest and their successors, heirs, and/or assigns.

EXECUTED the day and year first written.

By: Donaldson-Loescher Living Trust

  
\_\_\_\_\_  
Holly M. Donaldson, Co-Trustee

  
\_\_\_\_\_  
Nancy J. Loescher, Co-Trustee

20150924

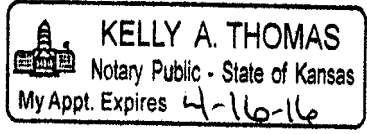
STATE OF KANSAS )  
SEDGWICK COUNTY ) SS:

BE IT REMEMBERED, that on this 15<sup>th</sup> day of October, 2015, before me, the undersigned, a Notary Public, in and for the County and State aforesaid, came Holly M. Donaldson, Co-Trustee of the Donaldson-Loescher Living Trust, personally known to me to be the same person(s) who executed the within instrument of writing and such person(s) duly acknowledged the execution of the same.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year above written.

Kelly A. Thomas  
Notary Public

(My Appointment Expires: 4-16-16)



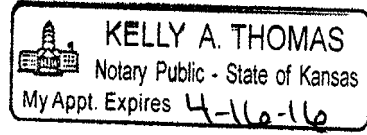
STATE OF KANSAS )  
SEDGWICK COUNTY ) SS:

BE IT REMEMBERED, that on this 15<sup>th</sup> day of October, 2015, before me, the undersigned, a Notary Public, in and for the County and State aforesaid, came Nancy J. Loescher, Co-Trustee of the Donaldson-Loescher Living Trust, personally known to me to be the same person(s) who executed the within instrument of writing and such person(s) duly acknowledged the execution of the same.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year above written.

Kelly A. Thomas  
Notary Public

(My Appointment Expires: 4-16-16)



# EXHIBIT B3

## Phase I Environmental Site Assessment

### EMS Post 1 Proposed Site

#### Introduction

Staff from the Sedgwick County Environmental Resources Department was asked to review the property between 3059 and 3223 W. 13<sup>th</sup> St. N., Wichita, Kansas, as a potential location for the new Sedgwick County EMS Post 1. The property is approximately .85 acres and is currently an open lot. The land use is Commercial highest and best use.

The property is shown in figure. 1 below.



Figure 1. Property adjacent to 3059 and 3223 W. 13<sup>th</sup> St. N.

## **Scope of Work**

The scope of work focused on the following specific tasks related to an Environmental Assessment.

### **Task 1 – Perform Historical Search of Past and Current Property Use**

Historical land use was reviewed by County Appraisal history. A visual assessment of the property was also performed.

### **Task 2 – Review of Environmental Databases**

Available environmental databases maintained by federal, state and local environmental agencies were reviewed for any known contaminated sites or permitted petroleum storage tanks.

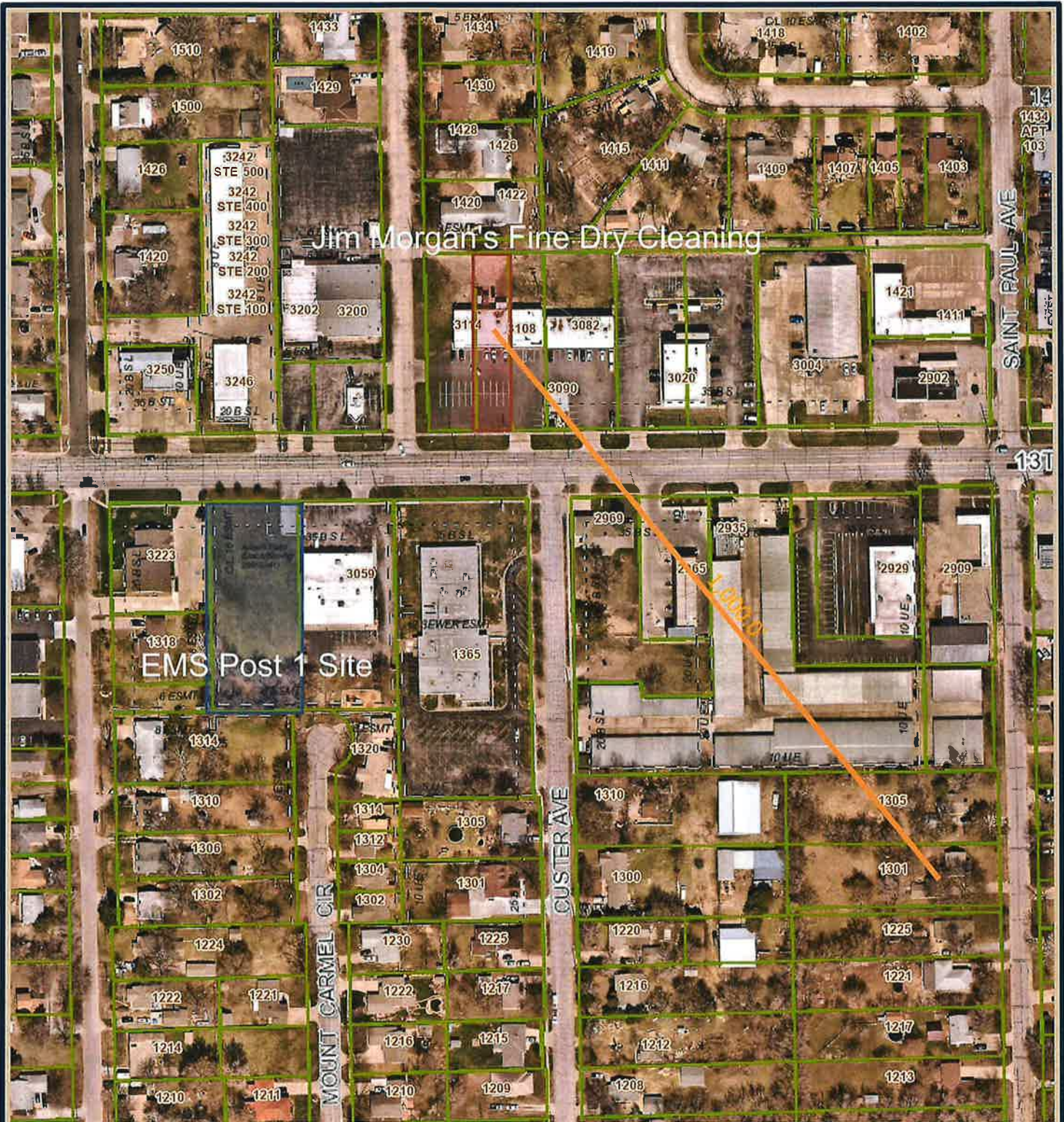
### **Task 3 – Review Geologic, Hydrogeologic Data and Species Data**

Publicly available documents and/or personal contact to determine the potential for localized hazards such as flooding, faults, or the presence of threatened and endangered species was undertaken.

## **Findings**

The property between 3059 and 3223 W. 13<sup>th</sup> St. N., Wichita, Kansas was visually inspected. It is currently a vacant lot and no issues were found. A 1950 historic aerial photo shows a mix of cropland and residential properties in this area. Surrounding houses were built in the late 1940's to early 1950's.

The Kansas Department of Health and Environment (KDHE) Bureau of Environmental Remediation maintains an Identified Sites List Database, which identifies sites for environmental remediation. There is 1 active remediation site within 0.1 miles of the property. Jim Morgan's Fine Dry Cleaning, 3110 W. 13<sup>th</sup> Street, is to the northeast of the proposed EMS Post 1 property. The dry cleaner had tetrachloroethylene (PCE) detected in the soil and groundwater in 2004. KDHE believes the PCE traveled to the southeast approximately 1,000 to 1,500 feet. This movement is away from the proposed EMS Post 1 property. Remedial activities continue currently. This can be seen on the following map.



Geographic Information Services  
 Sedwick County...  
*working for you*

Date: 8/27/2024

It is understood that the Sedwick County GIS, Division of Information and Operations, has no indication or reason to believe that there are inaccuracies in information incorporated in the base map.

The GIS personnel make no warranty or representation, either expressed or implied, with respect to the information or the data displayed.

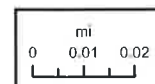
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### EMS Post Aerial View

Sedwick County, Kansas

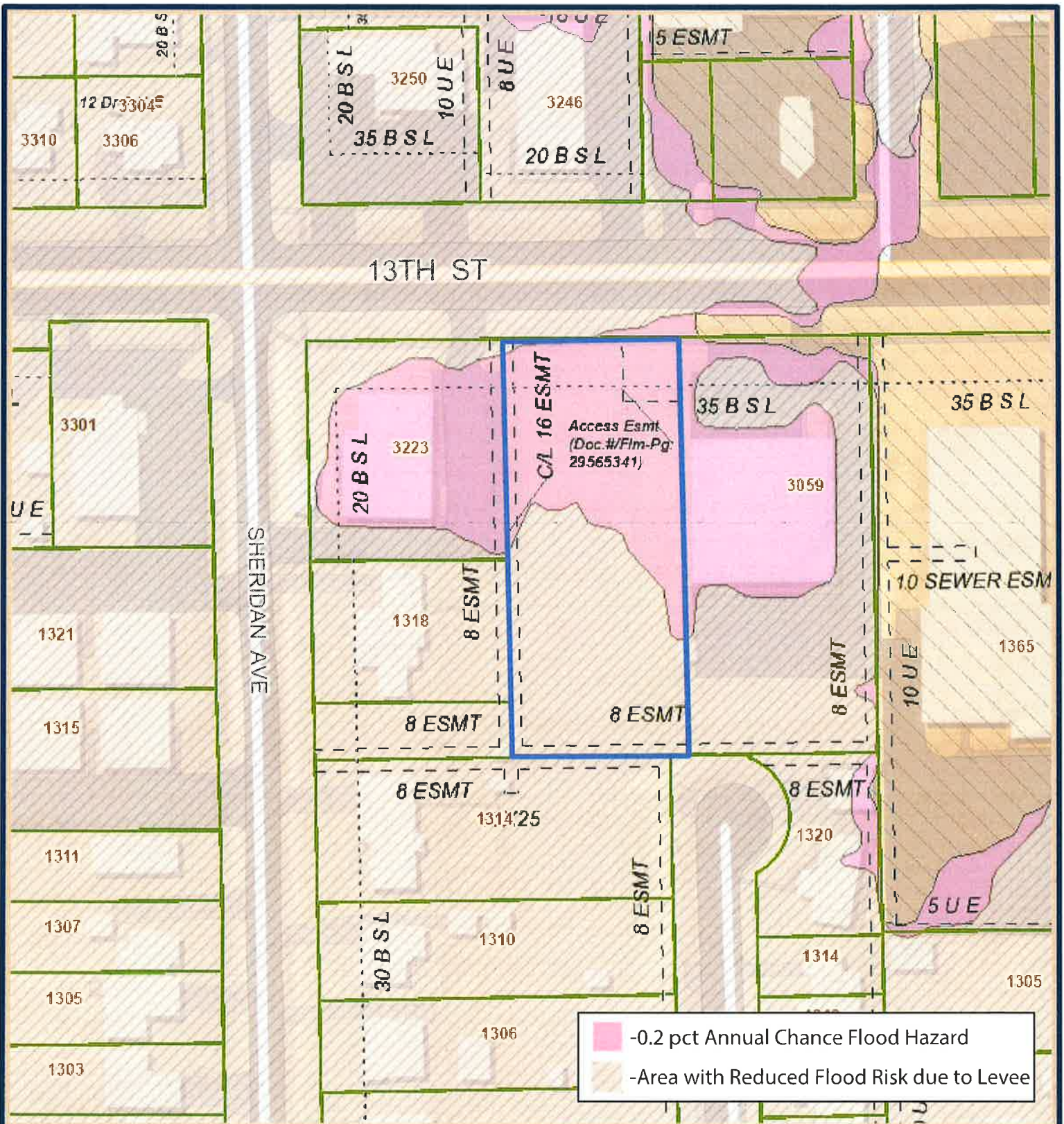


1:2,257



The Kansas Department of Health and Environment (KDHE) website was reviewed to determine if there were any permitted underground storage tanks (UST) or above-ground storage tanks on these properties. None were found.

Geologic and hydrogeologic maps were used to determine location of floodplains and faults. The property is dissected by 2 areas of flood hazard. The northern portion is designated as Zone X, 0.2% Annual Chance Flood Hazard (Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile). The southern portion is designated Zone X, Area with Reduced Flood Risk due to Levee. This can be seen on the following 2 maps.



**Proposed EMS Post 1 Floodplain**

Sedgwick County, Kansas

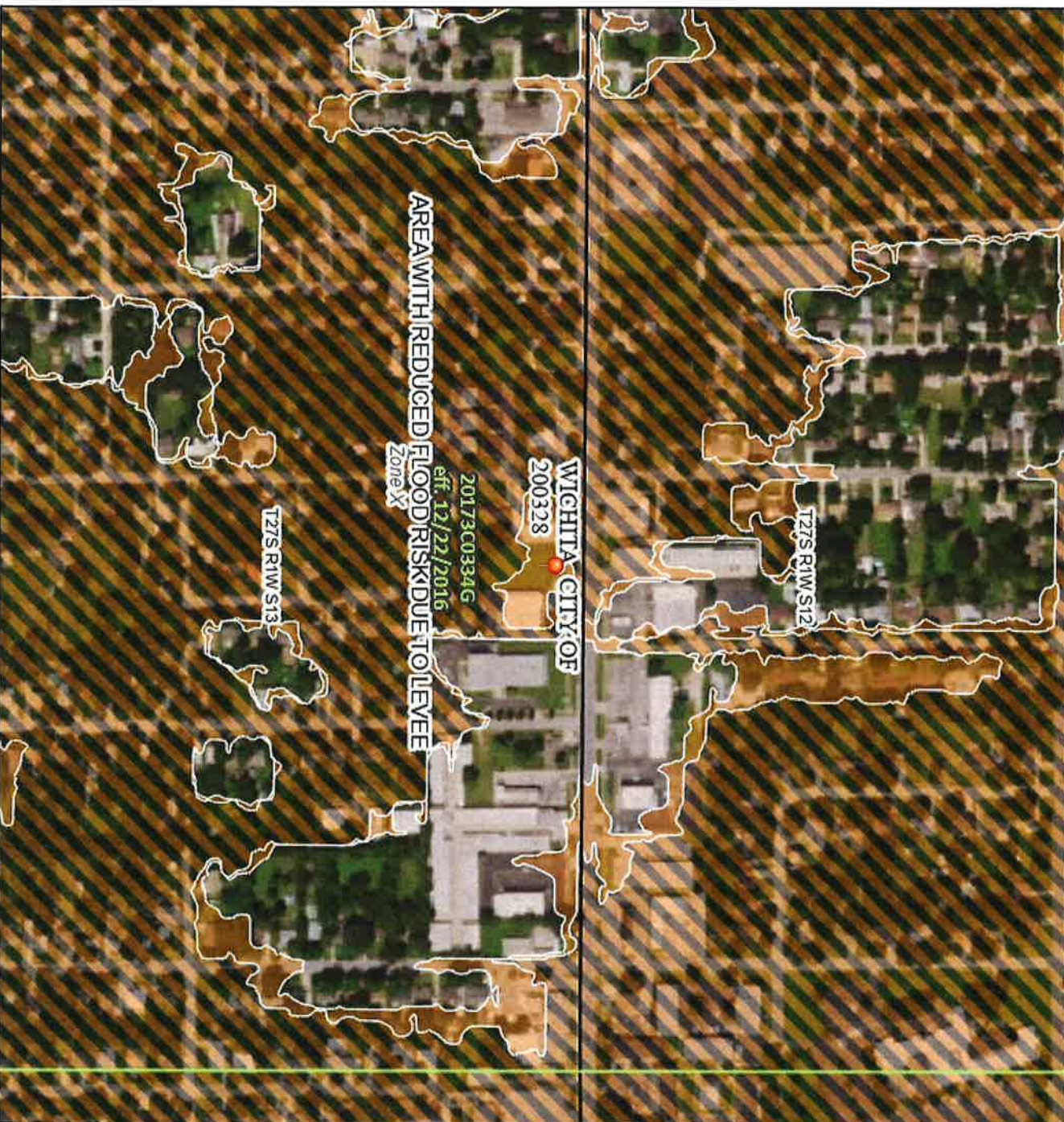


It is understood that the Sedgwick County GIS, Division of Information and Operations, has no indication or reason to believe that there are inaccuracies in information incorporated in the base map.  
 The GIS personnel make no warranty or representation, either expressed or implied, with respect to the information or the data displayed.  
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 All rights reserved.

# National Flood Hazard Layer FIRMette



97°23'5"W 37°42'44"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<b>SPECIAL FLOOD HAZARD AREAS</b>	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE of Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
-----------------------------------	--

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X	Future Conditions 1% Annual Chance Flood Hazard Zone X
Area with Reduced Flood Risk due to Levee, See Notes, Zone X	Area with Flood Risk due to Levee Zone D

<b>OTHER AREAS OF FLOOD HAZARD</b>	NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRS
------------------------------------	---

<b>OTHER AREAS</b>	Area of Undetermined Flood Hazard Zone D
--------------------	--

<b>GENERAL STRUCTURES</b>	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
---------------------------	---

<b>OTHER FEATURES</b>	Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
-----------------------	---

<b>MAP PANELS</b>	Digital Data Available No Digital Data Available Unmapped
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The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **8/27/2024 at 9:43 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

According to the Kansas Department of Wildlife and Parks, there are no threatened or endangered species that would be impacted at this property.

### **Special Considerations**

It should be noted that environmental assessments of this type are noninvasive and cannot eliminate the potential that hazardous, toxic, or petroleum substances are present or have been released beyond what is identified by the scope of this environmental assessment. It should be recognized that environmental concerns may be documented in public records that were not reviewed, though care has been taken to review known records. This site assessment is intended to reduce, but not eliminate, uncertainty regarding the potential for recognized environmental conditions. This must be considered when formulating opinions as to risks associated with these sites.



## DIVISION OF FINANCE – PURCHASING DEPARTMENT

100 N. Broadway St, Suite 610 Wichita, KS 67202 • Phone (316) 660-7255 • Fax (316) 660-1839  
PURCHASING@SEDGWICK.GOV • SEDGWICKCOUNTY.ORG

### ADDENDUM #1 RFP #25-0017

### ARCHITECTURAL AND ENGINEERING SERVICES DESIGN AND CONSTRUCTION FOR EMS POST 1

February 26, 2025

The following is to ensure that vendors have complete information prior to submitting a proposal. Here are some clarifications regarding the proposal for RFP #25-0017 Architectural and Engineering Services Design and Construction for EMS Post 1 for Project Services.

Questions and/or statements of clarification are in **bold** font, and answers to specific questions are *italicized*.

- 1. The IBC 2024, Section 423.4 requires a storm shelter to be included in this type of facility. The storm shelter must be designed and constructed per the associated ICC 500-2023. The ICC 500, Section 108 requires an independent peer review of the storm shelter design which must be hired by the County, not the design team. Is there going to be a separate RFP for the required storm shelter peer review services?**

*There will be no separate RFP at this time.*

- 2. What is the planned budget for this project?**

*A final construction budget will be established through the design process, but consideration will also be based on previous pre-engineered metal buildings built for the county's EMS Posts.*

- 3. What is the planned schedule for design and construction? What is the ideal opening date?**

*Design will begin as soon as the contract is awarded with construction start anticipated for late 2025 or early 2026. The ideal opening date would be the fall of 2026.*

- 4. From the RFP - Section 8: Required Response Content, line items 6-7 and 8-9 appear to be repeated. Is there additional information you were looking for proposers to include that would fall in items 8 and 9?**

*Section VIII, Required Response Content, 6 and 7 will be required. 8 and 9 is a duplication and may be omitted.*

- 5. From the RFP - Section 5: Scope of work, Phase 2-line item 1 states "Perform necessary research and field survey work as required to complete design including soil testing." It appears as though this information is provided in the RFP, is this correct? Does line item 1 need to be omitted?**

*Correct, the information is provided in the RFP and Section V, Phase Two, Line-Item No.1 may be omitted.*

6. **From the RFP - Section 3: Project Objectives, line item 16, "Utility and Maintenance Cost Estimating". Would you please expand on the expectations for this role?**

*Utility and Maintenance Cost Estimating will not be required. Section III, Project Objectives, Line-Item No. 16 may be omitted.*

7. **Does the county have a vendor for vehicle exhaust? Does the Design Team need to design within the parameters of a specific vendor?**

*No, the county does not have a vendor for vehicle exhaust.*

8. **Is this site on a floodplain?**

*The environmental report included in the RFP, references a portion of the north half of the lot is within a Zone A floodplain. The county is not seeking a Letter of Map Amendment or revision, only to construct EMS Post 1 above base flood elevation.*

9. **Will the emergency generator need to be protected in an ICC 500 storm shelter?**

*No.*

10. **The Bid Form was not included in the RFP, can we get a copy?**

*The county typically doesn't include a bid form for a professional services proposal. A breakdown of the hourly rates for each discipline the firm intends to use on this project and a lump sum price for the scope of work in its entirety is sufficient.*

Firms interested in submitting a proposal must respond with complete information and **deliver on or before 1:45 pm CDT, March 4, 2025**. Late proposals will not be accepted and will not receive consideration for final award.

**“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE *PROPOSAL* RESPONSE PAGE.”**

Sincerely,



Lee Barrier, NIGP-CPP  
Senior Purchasing Agent

LB/ks